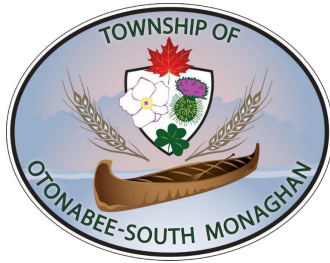


**THE
TOWNSHIP
OF
OTONABEE
SOUTH
MONAGHAN**

**TRAILER RESORT
DECKS**



The Township of Otonabee-South Monaghan

Trailer Park Resort Permit Information Guide

2025 Edition

Purpose

The purpose of the following document is to assist applicants by outlining important information for obtaining a building permit from the Township for a new deck or sunroom. Provided here is a general overview of the components making up a Building Code compliant deck. It is intended to offer a basic understanding of how a deck is to be properly and safely constructed as well as the steps required to apply for a proper building permit. The following information applies to all decks at all Recreational Establishments, Trailer Parks or Trailer Camps. **For other projects, consult the Ontario Building Code for specific requirements.**

This guide is intended to outline the minimum requirements for construction that are specified in the Ontario Building Code

This guide is provided for informational purposes only. It is the responsibility of the owner, applicant, designer, and contractor to review the Ontario Building Code to ensure that all construction meets or exceeds the current requirements.

Permits are required for ALL types of construction including wood stoves. ALL applications must be approved in writing by the Resort Manager.

APPLY FOR A BUILDING PERMIT BEFORE YOU BUILD OR, PERMIT FEES WILL BE DOUBLED!

If you are unable, due to inexperience or lack of technical understanding, to put together the required documents for a complete permit application, then you MUST engage the services of a BCIN Designer to do this for you.

Why is this Important

A Deck is a floor system, the same as that within the dwelling unit, and must be designed accordingly. Improperly built or incorrectly located structures can lead to occupant safety and liability concerns such as personal injury from structural failure or lack of required safety constraints (guards and handrails etc.), and/or impeding access to sites by emergency personnel and vehicles.

A deck is also directly subjected to wind, snow and rain loads, as well as being fully exposed to the elements. Of ten decks will fail slowly over time resulting in damage to not only the deck, but often the structure it serves. Occasionally decks can have catastrophic failures which could not only result in loss of life or injury, but also in personal liability.

WHEN IS A BUILDING PERMIT REQUIRED?

A Building Permit **is** required if **any** of the following apply:

1. Your deck or landing will be: **10m² (108ft²) or greater** in area.
2. Your deck or landing will be: **304.8mm (1'-0") or greater** above grade. **OR**
3. Your deck or landing, will be: **adjacent to an exit door**. No matter the size.

Keep in mind that a structure **not requiring** a building permit **must** still comply with all Zoning By-laws with regard to location. (how far away from the lot lines, other units, wells and septic systems, and other structures.)

THE PROCESS! HOW DO I GET A BUILDING PERMIT FOR A DECK?

A Building Permit is obtained from the *Building Department* at Township Municipal Building by submitting a *complete* Building Permit application. A permit will **only** be issued if the following information has been received:

1. A *complete* permit application submitted **which must be signed by the Resort facilities/park management. (See attached authorization forms)**

Two (2) sets of construction drawings. With Engineers Stamp if applicable

2. Site Plan showing where on the lot the deck is being constructed in relation to the building and the lot lines of each individual lot.

3. Any engineering that is required for pre-engineered Guards and Glass Guard Systems.

FEES! HOW MUCH DOES A BUILDING PERMIT COST?

Building permit fees are determined by Council each year. Currently, a Deck Building Permit costs **\$1.⁴⁵** per square foot (sqft) of deck area, with a **minimum charge of \$270.⁰⁰**.

Fee Example: 210 sqft deck X \$1.⁴⁵ sqft = **\$304.⁵⁰** permit fee due.

Fee Example: 150 sqft deck X \$1.⁴⁵ sqft = \$217.⁵⁰ *therefore* **\$270.⁰⁰** permit fee due.

HOW DO I GET A BUILDING PERMIT FOR MY PROJECT?

Cloudpermit

A Building Permit application must now be submitted to the Building Department ONLINE through the **Cloudpermit** online permitting portal accessible via the

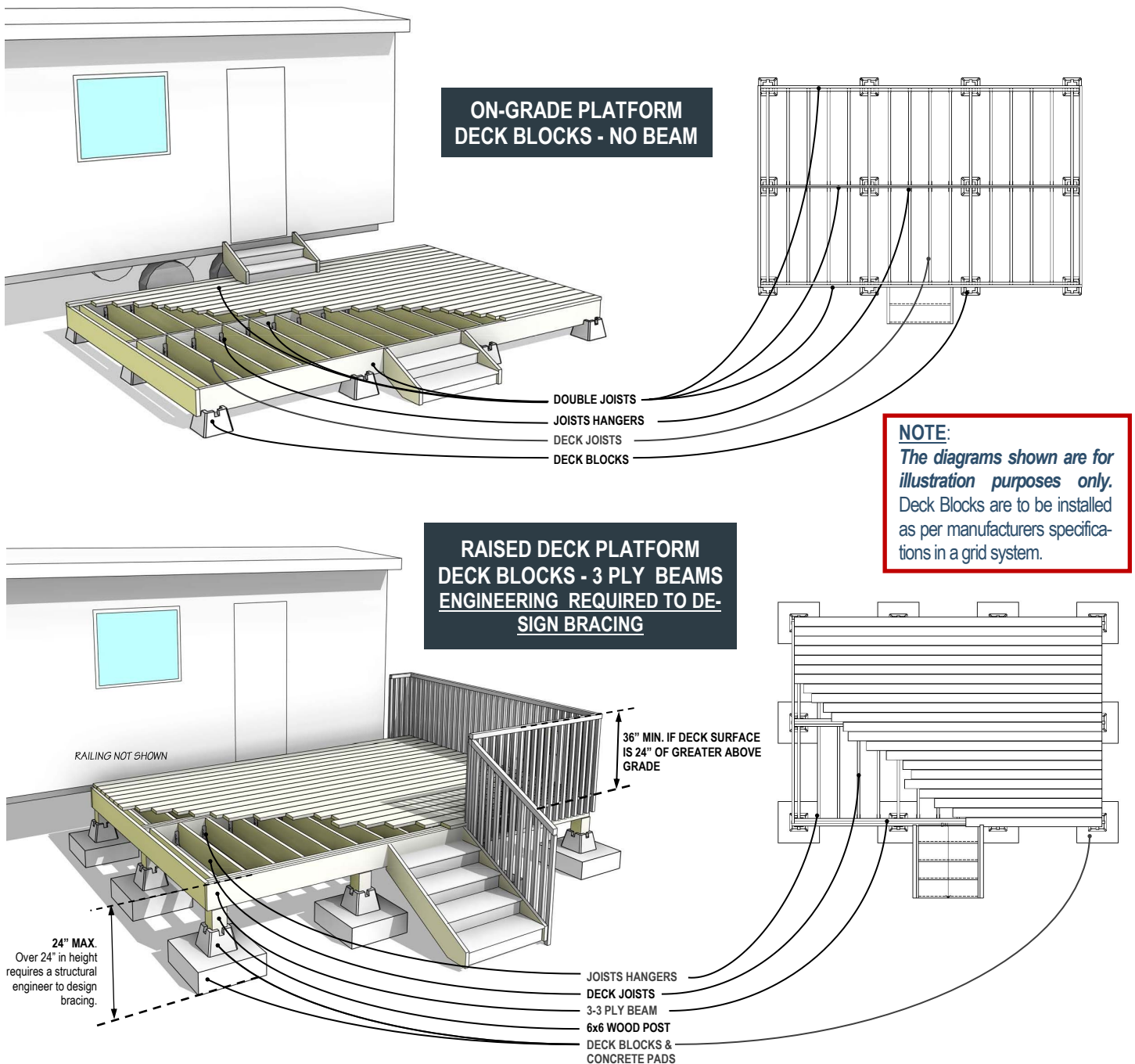
Otonabee-South Monaghan Township website at:

www.osmtownship.ca

To obtain a Building Permit you are required to submit a completed application using Cloudpermit. Access to Cloudpermit is through the township website. Here you will also find **video and text tutorials** to assist you through the application process.

Basic Deck Construction Requirements

The following provides a basic overview of the requirements for a deck built to comply with the Ontario Building Code. For a complete understanding of deck construction, please consult with a BCIN qualified designer or refer to our Township Deck Design Guide. The Township Deck Design Guide will provide a more in depth look at deck construction **HOWEVER**, there are requirements unique to decks serving park model homes and travel trailers which are not specifically addressed in this guide. For this reason, we recommend a BCIN designer as they understand the building code and good building practice.



FOUNDATIONS & FOOTINGS

Foundations and Footings provide a strong and stable base for your deck. There are different ways in which this can be done.

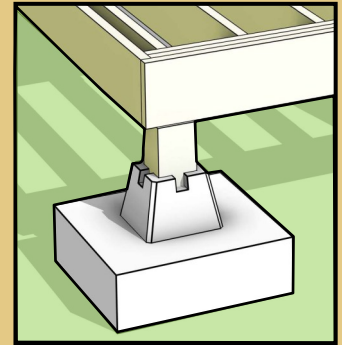
Because the structure that the deck serves (park model, travel trailer, etc.) is floating (They have foundations that **do not** extend into the ground 4`-0` or more to below the frost line protecting the supported structure from heaving up and down during the freeze and thaw cycles.) a deck must also float so the two structures move together.

Acceptable foundation types are:

1. **Deck Blocks** - only if block design has been approved by a **Professional Structural Engineer OR** built to manufacturers specifications. These shall only be used on decks that the walking surface is a maximum of 30" above grade.

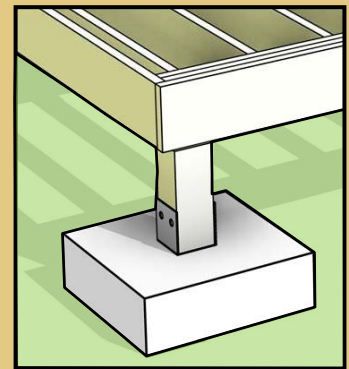
2. **18" x 18" Min. Solid Concrete "Cottage" Pad** with embedded metal post saddle for a 6x6 post or 3 ply beam.

1.



Deck block to be placed on a min. 18" x1 8" cottage pad on a bed of compacted gravel

2.



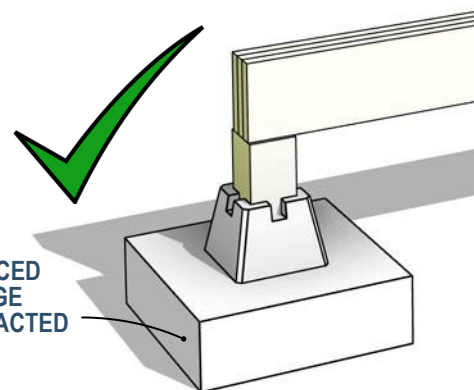
Metal Post saddle

SUPPORT POSTS

6x6 posts are the **minimum** permitted size to support beams and deck floor. A mechanical connection is required from the post to the beam. This can be achieved with a Simpson post to beam steel bracket or with 45 degree bracing from the post side to the underside of beam.



4x4 Post - Not Permitted

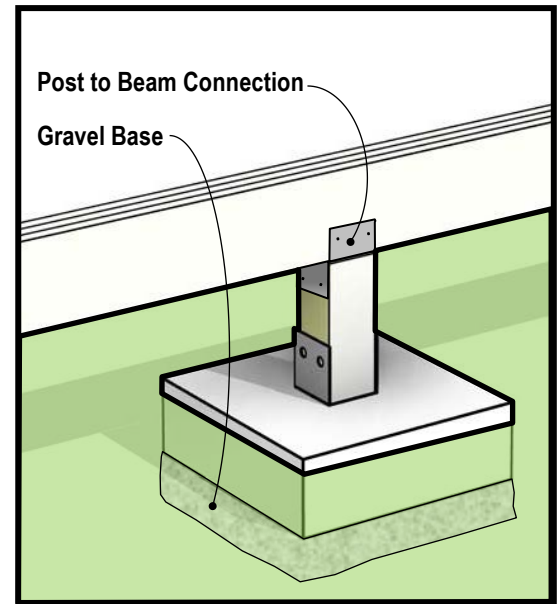


DECK BLOCK TO BE PLACED ON A 24" X 24" X 6" COTTAGE PAD ON A BED OF COMPACTED GRAVEL

6x6 Post - Minimum Permitted

BEAM CONSTRUCTION

Beams are the horizontal structural members that transfer the load from the floor system to the columns. Beams can be constructed of either wood or steel. Wood beams must be of a built-up style with a minimum of 3 ply's. The use of Solid Sawn timbers must be supported by calculations, which would involve retaining the services of a Professional Engineer. Beams are sized based on the amount of load transferred onto them. This involves knowing how long the floor joists are that will bear weight on them. The supported length is measured as half the sum of the joist spans on both sides of the beam. If the joists are cantilevered beyond the beam, you would also include the length of the cantilever. Framing for decks must comply with 9.23. "Wood-Frame Construction" of the OBC. The Columns must meet 9.17. "Columns" requirements.



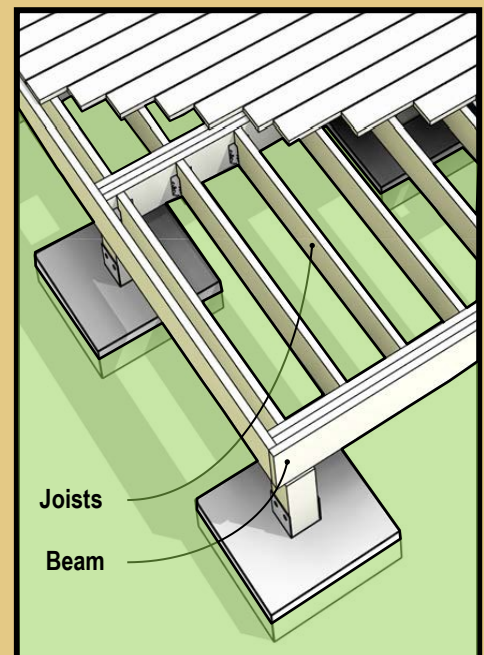
- 3-ply built-up wood beam on 6x6 post
- 45° 4x4 post to beam brace req. at each post both ways. (Not shown)

If LVL beams are used (Not Recommended), they must be protected from the elements.

JOISTS

Joists are the part of the flooring system that transfers the load of the decking to the beams. The spacing of the joists will often be determined based on the choice of decking and installation. Composite decking, or decking installed at a 45 degree angle can require closer spacing. The spacing of the joists also has an effect on the span of the joists. If the joists are closer, then the joists can span further. The following chart may be used to determine the size of joists you will require.

The minimum joist size is 2x8 as per SB-7 of the Ontario Building Code, but may be required to be larger based on the proposed spans. If SB-7 (for wood guard construction) is not applicable, then 2x6 joist may be used in accordance with Tables A1-A2 of the O.B.C.



GUARDS & HANDRAILS

There is a distinction between Handrails and Guards required by the Ontario Building Code. **Handrails** are used for support to assist in negotiating a stair or ramp while **Guards** are structural barriers to help prevent accidental falls from one level to another *but they can also serve as handrails*.

- **HANDRAILS** are required on stairs having *more than 3 risers*;
- **GUARDS** are required on stairs and on raised decks where the walking surface is **more than 600mm (1' 11")** above the adjacent ground or other deck surface;
- **VERTICAL PICKETS** must be spaced not more than 100mm (4");

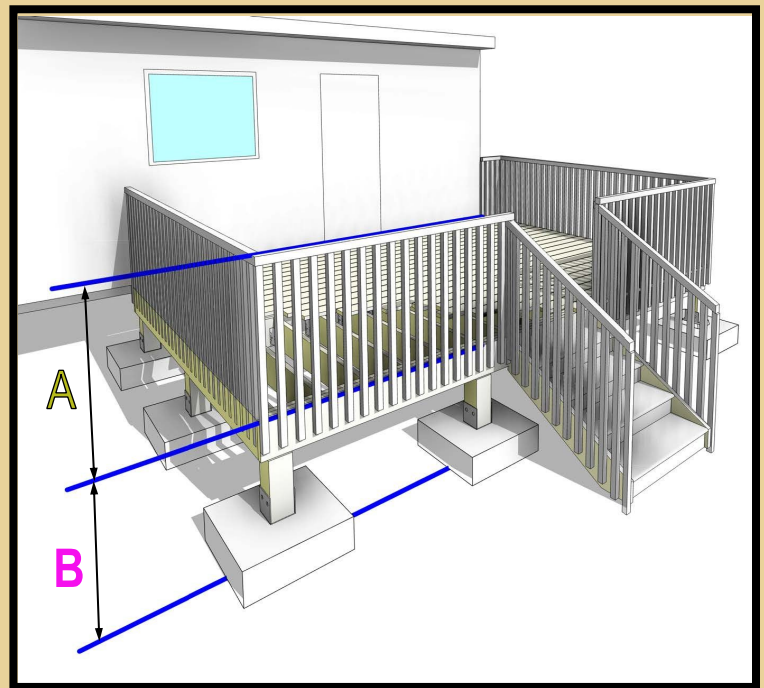
GUARD HEIGHT

Guard Height is determined by the distance from grade to the top of the deck walking surface. When this distance is 600mm (1'-11") or more, then a Guard is required and Guard Height will be measured as follows:

The height of the guard can be:

A = 900mm (35-7/16") **IF** **B** = less than 1800mm (5'-11" or 70-55/64")

A = 1070mm (42-1/8") **IF** **B** = more than 1800mm (5'-11" or 70-55/64")



Only *one* (1) Handrail is required for stairs having **MORE THAN** three (3) risers.

No Handrail is required for stairs with **LESS THAN** three (3) risers.

Provide a minimum of 50mm (1-31/32") clearance between Handrail and any surface behind it. Handrails *shall* be continuous throughout the length of the stairs. Handrails *must* be graspable.

Additional Information

SUNROOMS, ENCLOSED PORCHES, AND ENCLOSED DECKS

All proposed construction to enclose an existing deck or new construction for a new enclosed room, must be constructed in accordance with the OBC (Ontario Building Code).

These additions can be quite complex and for those not familiar with the OBC requirements, a designer with BCIN qualification is the option the resident should pursue for proper construction drawings to submit for a building permit. The municipality has a qualified designer list available upon request.

The OBC is continually growing, evolving and being updated to recognize new and/or improved design standards and building requirements or restrictions. If you are not familiar with this document, proper design can be onerous.

Many property owners attempt to draw their own plans for construction. It is permissible for the home owner to submit drawings produced by themselves **however**, it is important to know that these plans must contain the same information and be formatted in the same way as the plans that a BCIN designer would produce. This means that they must be:

- Drawn to scale.
- Clearly show all construction details including but not necessarily limited to:
 - floor plans,
 - sections,
 - elevations,
 - details showing the type and connection of wood guards (SB-7),
 - stair details and connections,
 - site plan showing the size and location of the proposed construction and how it relates to the property boundaries and other structures on the property.
- Drawings must be properly dimensioned.

If, during the application and drawing review, the CBO determines that the provided plans are insufficient or do not meet the code requirements, you will be directed to seek the services of a BCIN Designer.

Need to Speak to Someone?

There is a lot of information covered in this guide. If you have any questions regarding this information, please do not hesitate to contact the building department for assistance. If you would like to make an appointment to discuss your plans with Building Department Staff, please contact Christine to make the arrangements.

Phone: 705.295.6852 **Fax:** 705.295.6786

BUILDING DEPARTMENT CONTACTS

Paul Monks

Chief Building Official
Ext. 231
cbo@osmtownship.ca

Steve Wigboldus

Building Inspector
Ext. 212
buildinginspector@osmtownship.ca

Christine Zurosky

Building & Planning Assistant
Ext. 233
Building.planningassistant@osmtownship.ca

OTHER PERMITS & APPROVALS APPLICANTS SHOULD BE AWARE OF

Municipal Fire Department - Fire Chief Chuck Parsons - 705-295-6880

Enbridge Gas - 1-888-427-8888

Ontario Hydro One - 1-888-664-9376

You can also send us mail or visit us at the Township Municipal Office located at:

20 Third Street . Keene . Ontario . K0L 2G0

Our office hours are: Monday to Friday - 8:30 - 4:30

Permit information and applications can be downloaded from our website:
www.osmtownship.ca



20 Third Street, PO Box 70 Keene, Ontario K0L 2G0
 Phone: 705-295-6852 Fax: 705-295-6405
www.osmtownship.ca

Township of
OTONABEE SOUTH-MONAGHAN

Authorization Form

AGENT TO APPLY FOR A BUILDING PERMIT ON BEHALF OF PROPERTY OWNER

Property Owner:	
Phone Number: (Property Owner)	
Email address: (Property Owner)	
Agent:	
Phone Number: (Agent)	
Property Address:	
Roll Number:	1506- _____ - _____ - _____ - 0000

I/We, the Property Owner, hereby authorize the Agent listed above to apply for a Building Permit to construct _____ for my/our property located in the Township of Otonabee- South Monaghan on my/our behalf:

X

Signature of Owner

Date

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

Thanks!



Do You Have Questions?

If you have any questions regarding the information contained in this document, please contact the Township of Otonabee South-Monaghan Building Department for assistance

TRAILER PARK RESORT DECKS

